

SITE DEVELOPMENT PLANS FOR ROSENSTEIN SHORT PLAT FOR JOSHUA ROSENSTEIN

VERTICAL DATUM

NAVD 88

BENCHMARK

CONCRETE MONUMENT IN CASE AT THE INTERSECTION OF SE 127TH STREET AND 72ND AVENUE SE.
ELEVATION = 259.038

BASIS OF BEARING

N88°32'01"E ALONG THE CENTERLINE OF SE 40TH ST PER PLAT.

NOTES

- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MAY 10-15, 2014. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MAY, 2014.
- ALL DISTANCES ARE IN FEET.
- THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

SITE STATISTICS

ZONING: R-8.4 (RESIDENTIAL-SINGLE FAMILY)
 SITE AREA: ±17,309 SF (±0.39736 ACRES)
 LOTS PROPOSED: 2
 LOT 1 SIZE: ±8,482 SF
 LOT 2 SIZE: ±8,827 SF
 AVERAGE LOT SIZE: ±8,654 SF
 TAX PARCEL: 545600-0185-05

LOT SLOPE STATISTICS

LOT 1: 21%
 LOT 2: 15%

LEGAL DESCRIPTION (ORIGINAL)

LOT 3, BLOCK J, MERCERWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 52 OF PLATS, PAGE(S) 32 AND 33, IN KING COUNTY, WASHINGTON.

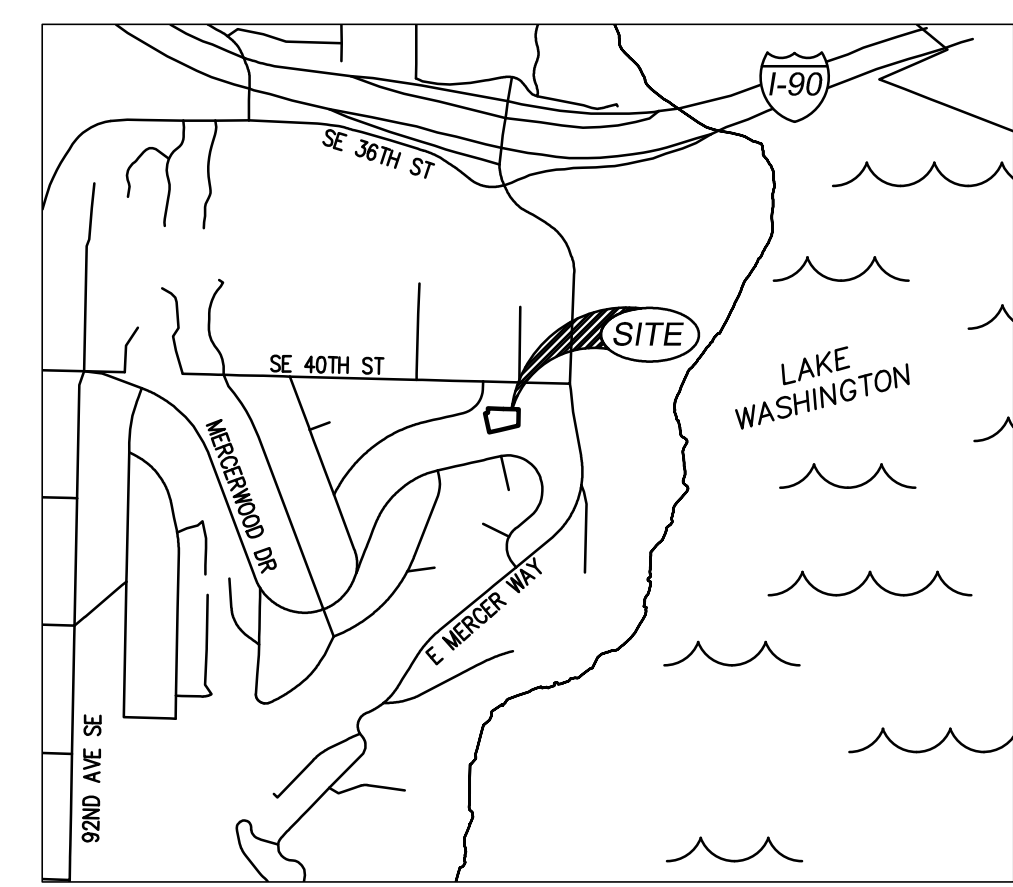
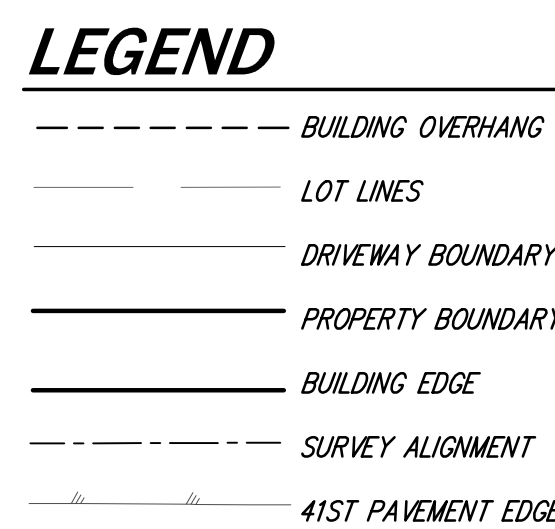
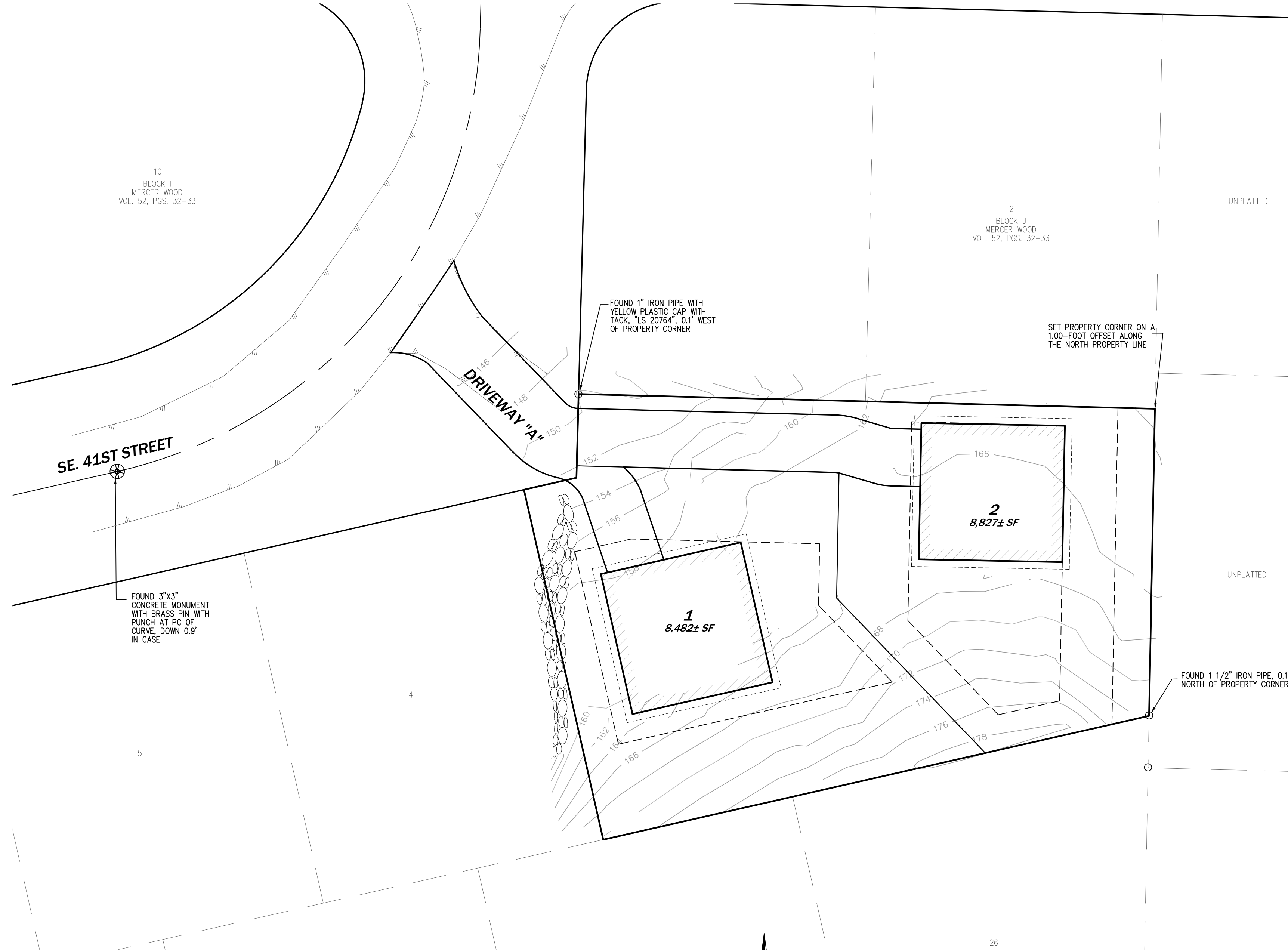
LEGAL DESCRIPTION (NEW)

NEW LOT 1:
 LOT 3, BLOCK J, MERCERWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 52 OF PLATS, PAGE(S) 32 AND 33, IN KING COUNTY, WASHINGTON, EXCEPT THAT PORTION DESCRIBED AS FOLLOWS;

BEGINNING AT THE NORTH EAST CORNER OF SAID LOT 3;
 THENCE S01°05'30"W ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 85.58 FEET TO THE SOUTHEAST CORNER THEREOF;
 THENCE S77°13'36"W ALONG THE SOUTH LINE OF SAID LOT 3 A DISTANCE OF 46.81 FEET;
 THENCE N43°50'08"W 59.85 FEET;
 THENCE N01°05'30"E 35.00 FEET;
 THENCE N88°32'01"W 73.13 FEET TO THE WEST LINE OF SAID LOT 3;
 THENCE N01°27'59"E 20.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 3;
 THENCE S88°32'01"E 160.72 FEET TO THE POINT OF BEGINNING.

NEW LOT 2:
 THAT PORTION OF LOT 3, BLOCK J, MERCERWOOD, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 52 OF PLATS, PAGE(S) 32 AND 33, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS;

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OWNER:
 JOSHUA AND SUSAN ROSENSTEIN
 9789 SE 41ST ST
 MERCER ISLAND, WA 98045

ENGINEER/SURVEY:
 CORE DESIGN INC
 14711 NE 29TH PL, SUITE 101
 BELLEVUE, WASHINGTON 98007
 (425) 885-7877
 CONTACT: MICHAEL A. MOODY, P.E.
 GLENN R. SPRAGUE, P.L.S.

TAX ACCOUNT
 545600-0185-05

SHEET INDEX

C1.01	COVER SHEET
C1.02	BOUNDARY & TOPOGRAPHIC PLAN
C1.03	HORIZONTAL CONTROL PLAN
C2.01	TESC PLAN
C2.31	EROSION CONTROL DETAILS
C4.01	STORM DRAINAGE & GRADING PLAN
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C4.31	NOTES, DETAILS, AND SECTIONS
C5.01	UTILITIES PLAN
C5.21	SANITARY SEWER PROFILES

NO.	REVISIONS	DATE
1	REVISION PER CITY COMMENTS	3/20/18
2	REVISION PER CITY COMMENTS	4/16/18

14711 NE 29th Place Suite 101
 Bellevue, Washington 98007
 425.885.7877 Fax: 425.885.7963

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COVER SHEET

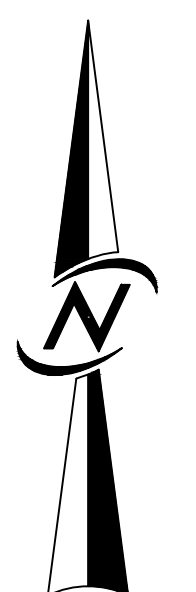
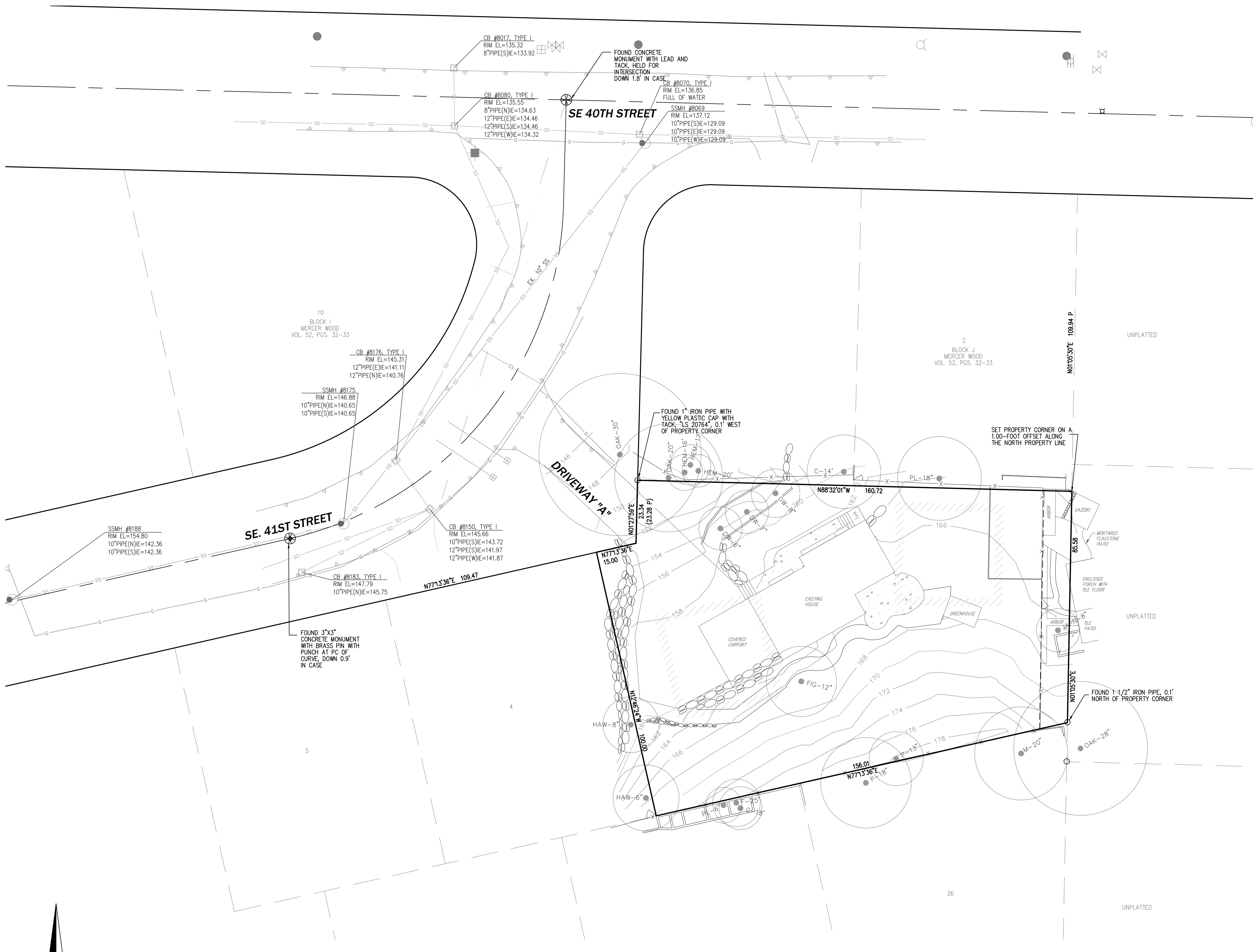
ROSENSTEIN SHORT PLAT

JOSHUA ROSENSTEIN
 9789 SE 41ST STREET
 MERCER ISLAND, WA 98040

DATE	MARCH 30, 2018
DESIGNED	ROBAB MOHAMMADI
DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
	GLENN SPRAGUE
	PROJECT MANAGER
SHEET	OF
C1.01	10
PROJECT NUMBER	16175

SUB17-003

4/16/2018 8:22 AM: \\2016116175\ENGINEERING\PROJECTS\16175\C1.01-1.02.DWG



SCALE: 1" = 20'

VERTICAL DATUM
NAVD 88
BENCHMARK
CONCRETE MONUMENT IN CASE AT THE INTERSECTION OF SE 127TH STREET AND 72ND AVENUE SE. ELEVATION = 259.038

- LEGEND**
- ⊗ FOUND MONUMENT AS DESCRIBED
 - FOUND PIPE/REBAR AS DESCRIBED
 - REBAR WITH YELLOW PLASTIC CAP, 41299
 - M MADRONA ○ OAK
 - FIG FIG
 - D DOGWOOD
 - CLF CHAIN LINK FENCE
 - VBF VERTICAL BOARD FENCE
 - ⊖ ROCKERY

BASIS OF BEARINGS
N88°32'01"E ALONG THE CENTERLINE OF SE 40TH ST PER PLAT, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. ROTATED TO WASHINGTON STATE PLANE COORDINATE SYSTEM - NORTH ZONE.

REFERENCES
CITY OF MERCER ISLAND SHORT PLAT NUMBER M-95-1388 AS RECORDED IN VOLUME 110 OF SHORT PLATS, AT PAGE 11, UNDER RECORDING NUMBER 9607089002.
CITY OF MERCER ISLAND SHORT PLAT NUMBER M-97-04-05 (B-3) AS RECORDED IN VOLUME 65 OF SHORT PLATS, AT PAGES 61 & 61A, UNDER RECORDING NUMBER 9903159002.
PLAT OF SUNSET RIDGE AS RECORDED IN VOLUME 246 OF PLATS, AT PAGES 21 THROUGH 24, UNDER RECORDING NUMBER 20080206000478.

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- RESTRICTIONS**
- THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF MERCERWOOD, AS DISCLOSED BY INSTRUMENT RECORDED UNDER RECORDING NO. 4400561. BLANKET, NOT SHOWN.
 - THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER RECORDING NO. 4408431 AND SUPPLEMENTAL BY APPOINTMENT OF ARCHITECTURAL CONTROL COMMITTEE UNDER INSTRUMENT PER RECORDING NO. 4429624, MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED NO. 4789911, MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS PER RECORDING NO. 20060307001259. BLANKET, NOT SHOWN.
 - THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS OF AN EASEMENT AS DISCLOSED BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 466264. SHOWN ON MAP.
 - THIS SITE IS SUBJECT TO RESTRICTIONS CONTAINED ON THE FACE OF THE PLAT AS FOLLOWS: NO LOT OR PORTION OF A LOT IN THIS PLAT SHALL BE DIVIDED AND SOLD OR RESOLD, OR OWNERSHIP CHANGED OR TRANSFERRED WHEREBY THE OWNERSHIP OF ANY PORTION OF THIS PLAT SHALL BE LESS THAN THE AREA REQUIRED FOR THE USE DISTRICT IN WHICH IT IS LOCATED. ALL LOTS IN THIS PLAT ARE RESTRICTED TO A R-1 RESIDENCE DISTRICT USE AND GOVERNED BY AND SUBJECT TO RESTRICTIONS, RULES AND REGULATIONS OF THE KING COUNTY ZONING RESOLUTION NO. 11373 AND SUBSEQUENT CHANGES THERETO BY OFFICIAL COUNTY RESOLUTION. SEPTIC TANK APPROVAL IN ACCORDANCE WITH SPECIFICATIONS OF THE KING COUNTY HEALTH DEPARTMENT IS REQUIRED FOR EACH INDIVIDUAL LOT.
 - THIS SITE IS SUBJECT TO ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY THE LOCATION OF A ROCKERY, LOCATION OF FENCE LINES, AND NUMEROUS ITEMS WITHIN THE EASTERLY 10.3 FOOT USE EASEMENT AS DISCLOSED BY SURVEY RECORDED UNDER RECORDING NO. 20071015900005. SHOWN ON SHEET 3.
 - THIS SITE IS SUBJECT TO THE RIGHTS OF PUBLIC TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND IN THE REASONABLE ORIGINAL GRADING OF STREETS, AVENUES, ALLEYS AND ROADS, AS DISCLOSED BY THE PLAT.
- NOTES**
- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY, SUBDIVISION GUARANTEE NO. 0091525-CTU, DATED FEBRUARY 17, 2017. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
 - THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON AUGUST 14, 2007. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JULY, 2007.
 - PROPERTY AREA = 17309± SQUARE FEET (0.3974± ACRES).
 - ALL DISTANCES ARE IN FEET.
 - THIS IS A FIELD TRAVERSE SURVEY. A SOKKIA FIVE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

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DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
	GLENN SPRAGUE
	PROJECT MANAGER

DATE	3/30/18
DATE	4/16/18
REVISIONS	1 REVISION PER CITY COMMENTS
	2 REVISION PER CITY COMMENTS

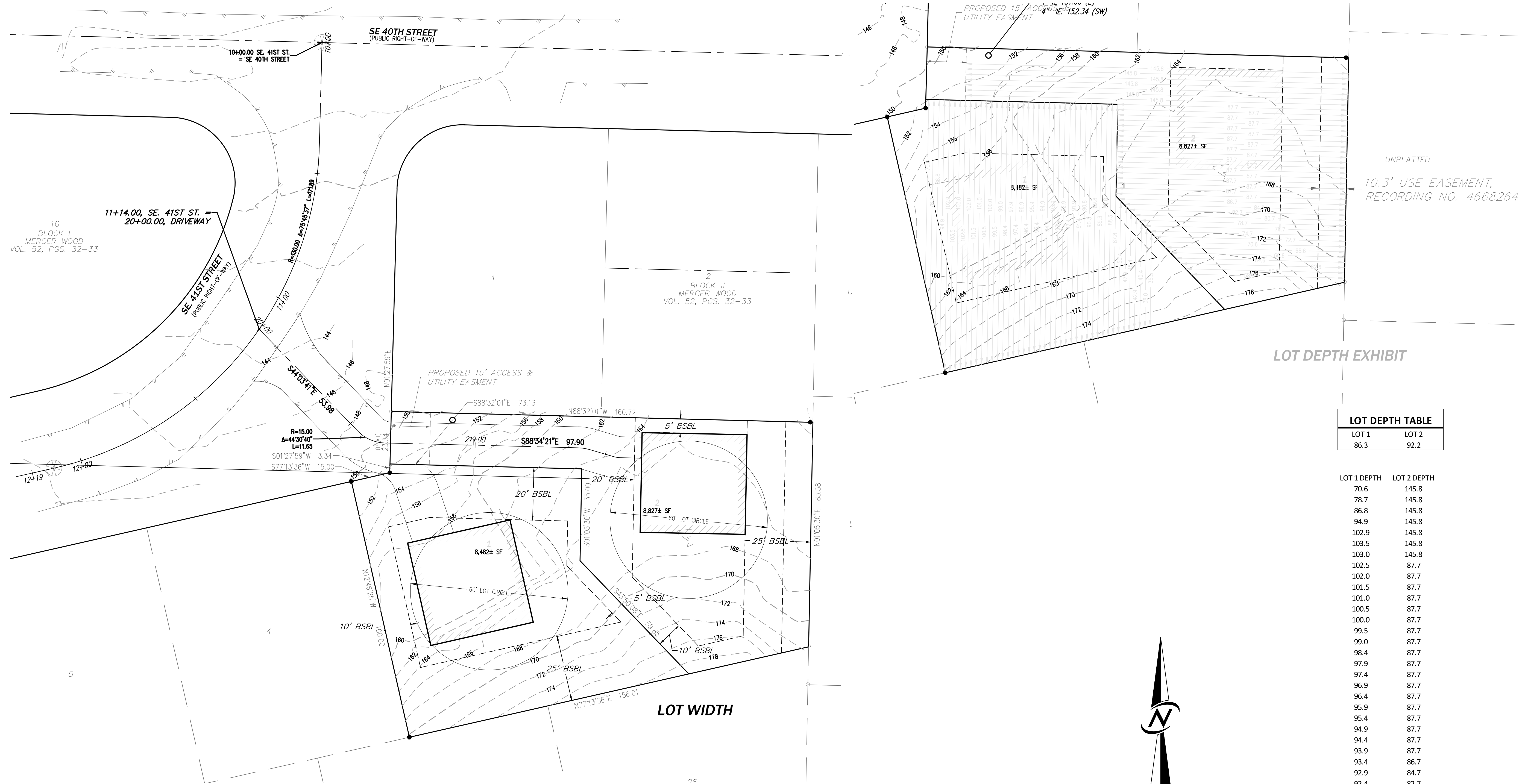
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Bellevue, Washington 98007
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BOUNDARY & TOPOGRAPHIC PLAN
ROSENSTEIN SHORT PLAT
JOSHUA ROSENSTEIN
9789 SE 41ST STREET
MERCER ISLAND, WA 98040

SHEET **C1.02** OF **10**
PROJECT NUMBER **16175**
SUB17-003

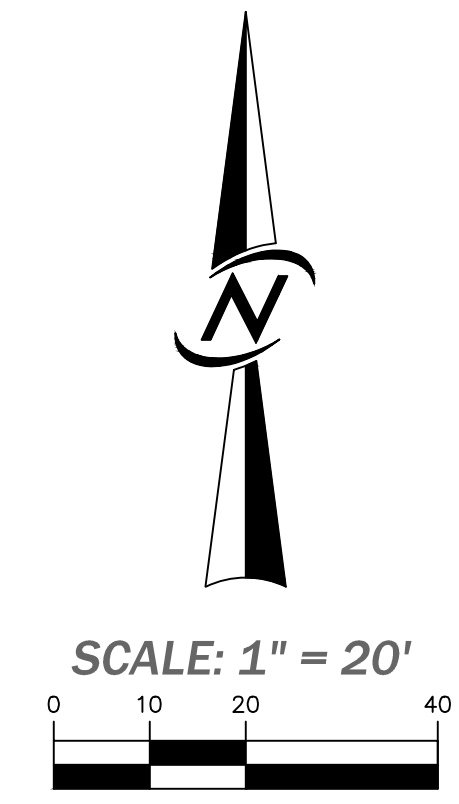
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LOT DEPTH EXHIBIT

LOT DEPTH TABLE	
LOT 1	LOT 2
86.3	92.2

LOT 1 DEPTH	LOT 2 DEPTH
70.6	145.8
78.7	145.8
86.8	145.8
94.9	145.8
102.9	145.8
103.5	145.8
103.0	145.8
102.5	87.7
102.0	87.7
101.5	87.7
101.0	87.7
100.5	87.7
100.0	87.7
99.5	87.7
99.0	87.7
98.4	87.7
97.9	87.7
97.4	87.7
96.9	87.7
96.4	87.7
95.9	87.7
95.4	87.7
94.9	87.7
94.4	87.7
93.9	87.7
93.4	86.7
92.9	84.7
92.4	82.7
91.9	80.7
91.4	78.7
90.8	76.7
90.3	74.7
89.8	72.7
89.3	70.6
88.8	68.6
88.3	66.6
87.8	64.6
50.4	62.6
47.9	60.6
45.4	58.6
42.9	
40.4	
38.0	
35.5	



DATE	MARCH 30, 2018
DESIGNED	ROBAB MOHAMMADI
DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
	GLENN SPRAGUE PROJECT MANAGER

REVISIONS	NO.	DATE	DESCRIPTION
1	REVISION PER CITY COMMENTS	3/20/18	
2	REVISION PER CITY COMMENTS	4/16/18	

**HORIZONTAL CONTROL PLAN
ROSENSTEIN SHORT PLAT**

JOSHUA ROSENSTEIN
9789 SE 41ST STREET
MERCER ISLAND, WA 98040

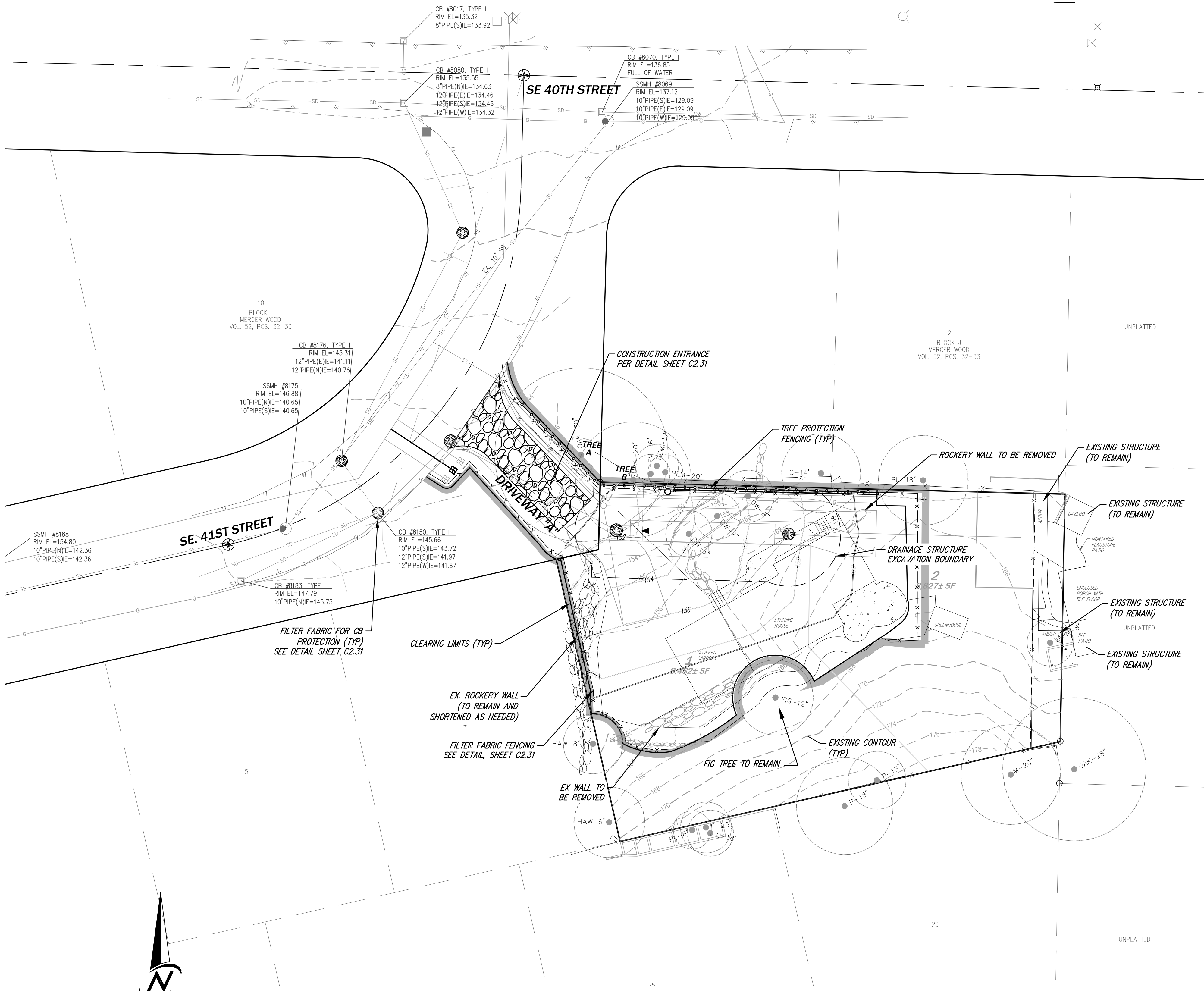
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Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963

DATE: 3/20/18, 4/16/18

PROJECT NUMBER: 16175

SHEET: C1.03 OF 10

SUB17-003



GENERAL NOTES

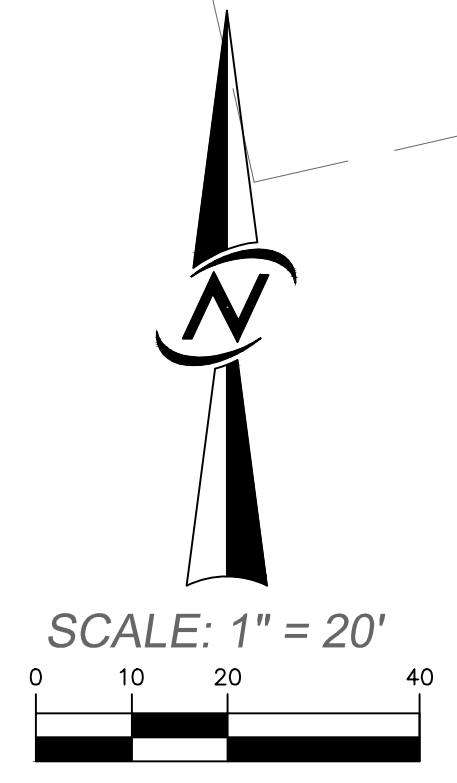
1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. EXCAVATION OF ON-SITE CATCH BASINS (12' AND 16' DEPTHS RESPECTIVELY) WILL NOT IMPACT NEIGHBORING PROPERTY AND WILL BE CONTAINED BY WALL.

TREE PROTECTION NOTES

1. CONTRACTOR SHALL COORDINATE WITH ARBORIST ON GRADING AROUND RETAINED TREES AND ROOTS.
2. ARBORIST TO BE ONSITE TO VERIFY PRESERVATION OF RETAINED TREES

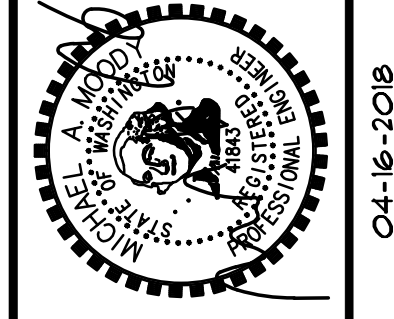
LEGEND

- INLET FILTER (W.S.D.O.T. STD DTL. 1-40.20-00)
- FILTER FABRIC FENCE
- TREE PROTECTION FENCE
- CONSTRUCTION ACCESS (DCE STD DTL. BMP 205)
- CLEARING LIMITS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EX TREE TO BE REMOVED (DURING ROUGH GRADING)
- EX TREE TO BE RETAINED



UNDERGROUND LOCATOR SERVICE
CALL BEFORE YOU DIG!
811

NO.	REVISIONS	DATE
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EROSION CONTROL PLAN & DETAILS
ROSENSTEIN SHORT PLAT
JOSHUA ROSENSTEIN
9789 SE 41ST STREET
MERCER ISLAND, WA 98040

DATE	MARCH 30, 2018
DESIGNED	ROBAB MOHAMMADI
DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
	GLENN SPRAGUE
	PROJECT MANAGER

SHEET	OF
C2.01	10
PROJECT NUMBER	
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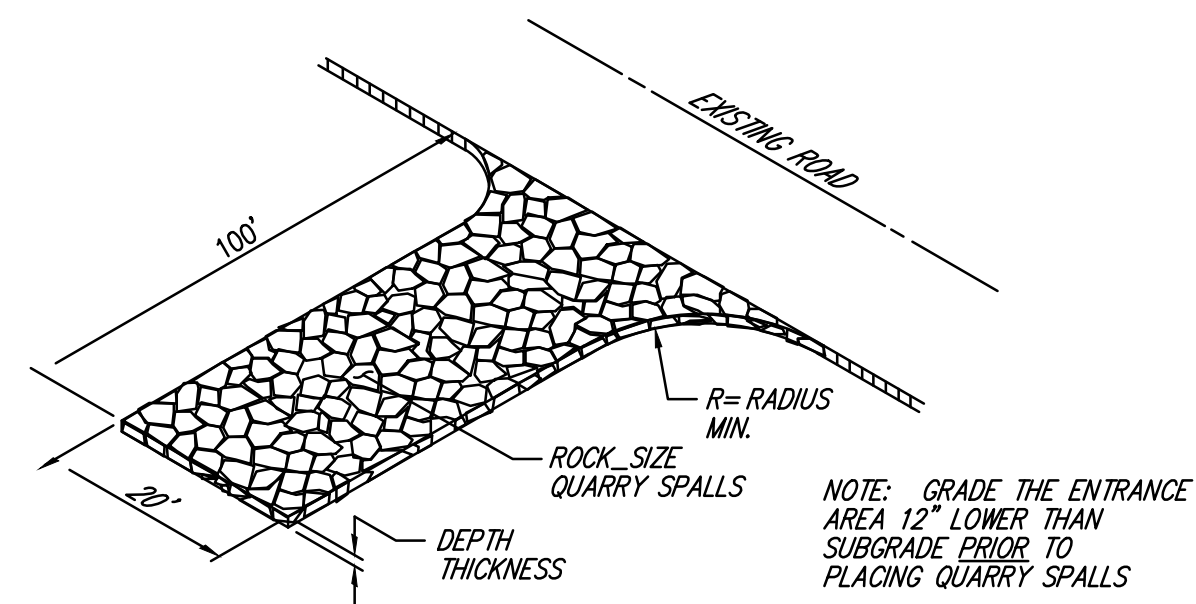
SUB17-003

04-16-2018

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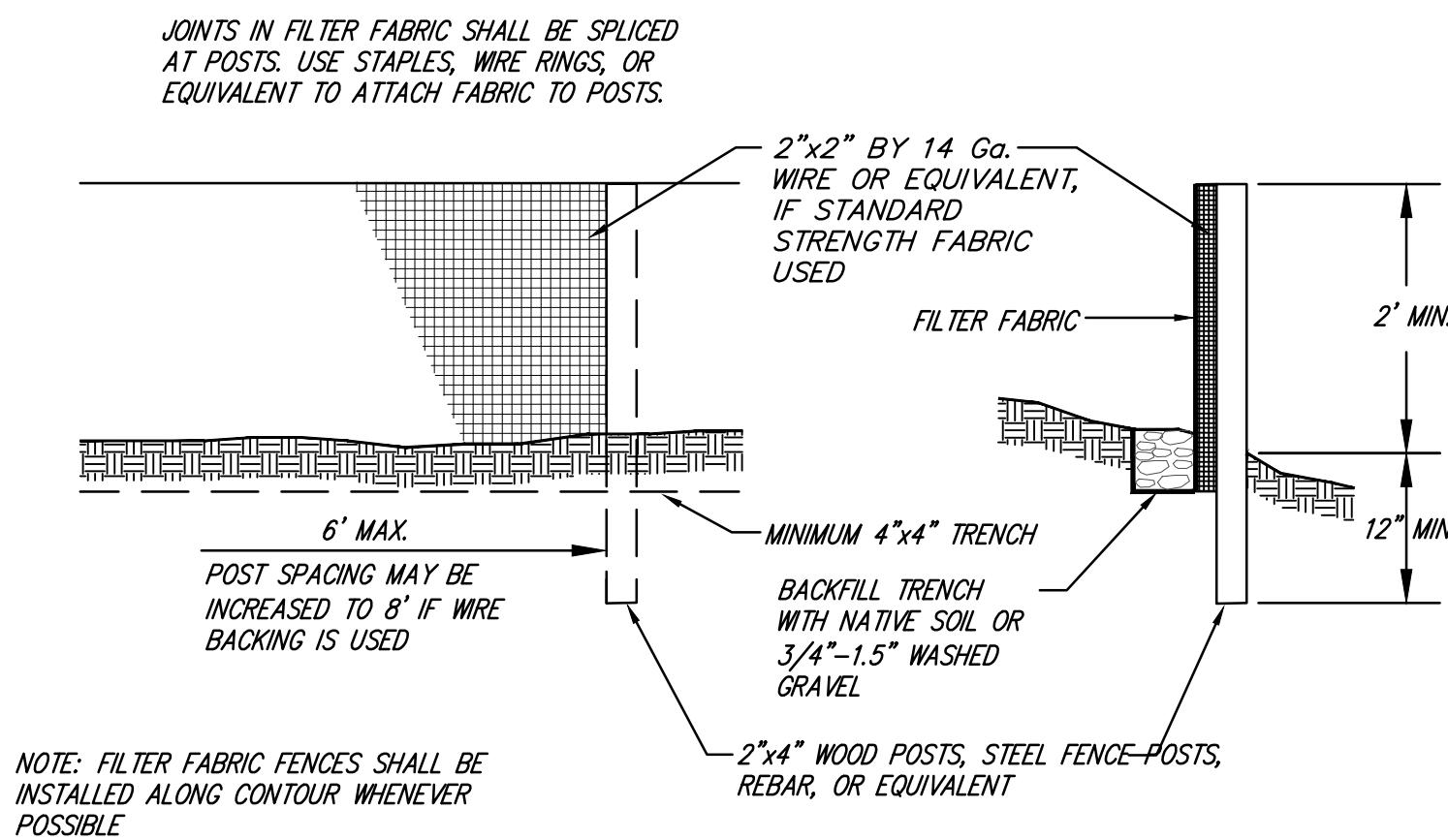
CONSTRUCTION SEQUENCE

- ① PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MERCER ISLAND BY PHONING (206)-275-7726.
- ② FLAG LIMITS OF CLEARING IN FIELD AS INDICATED ON SHEET C2.01.
- ③ CLEAR FOR AND CONSTRUCT THE ROCKED CONSTRUCTION ACCESS.
- ④ CONSTRUCT PERIMETER FILTER FABRIC FENCES.
- ⑤ CONSTRUCT DOWNSTREAM DISCHARGE SYSTEM, INTERCEPTOR SWALES, ROCK CHECK DAMS, STORM DRAINAGE PIPES, RIP RAP PADS.
- ⑥ CLEAR & GRADE SITE WHILE EXTENDING TEMPORARY INTERCEPTOR SWALE AS CONSTRUCTION PROCEEDS. ALL SILT-LADEN RUNOFF SHALL BE DIRECTED TO SEDIMENT RETENTION FACILITIES.
- ⑦ CLEAR FOR AND CONSTRUCT DETENTION TANK FOR USE FOR SEDIMENT RETENTION AND CONSTRUCT DISCHARGE SYSTEM.
- ⑧ CONSTRUCT SANITARY SEWER, WATER, & REMAINING STORM DRAINAGE FACILITIES PER THE APPROVED PLANS.
- ⑨ FINE GRADE AND PAVE THE DRIVEWAY.
- ⑩ UPON COMPLETION OF GRADING ACTIVITIES, STABILIZE ALL DISTURBED AREAS, REMOVE EXCESS SEDIMENT FROM THE TANK AND REMOVE ALL TEMPORARY EROSION/ SEDIMENTATION CONTROL FACILITIES.



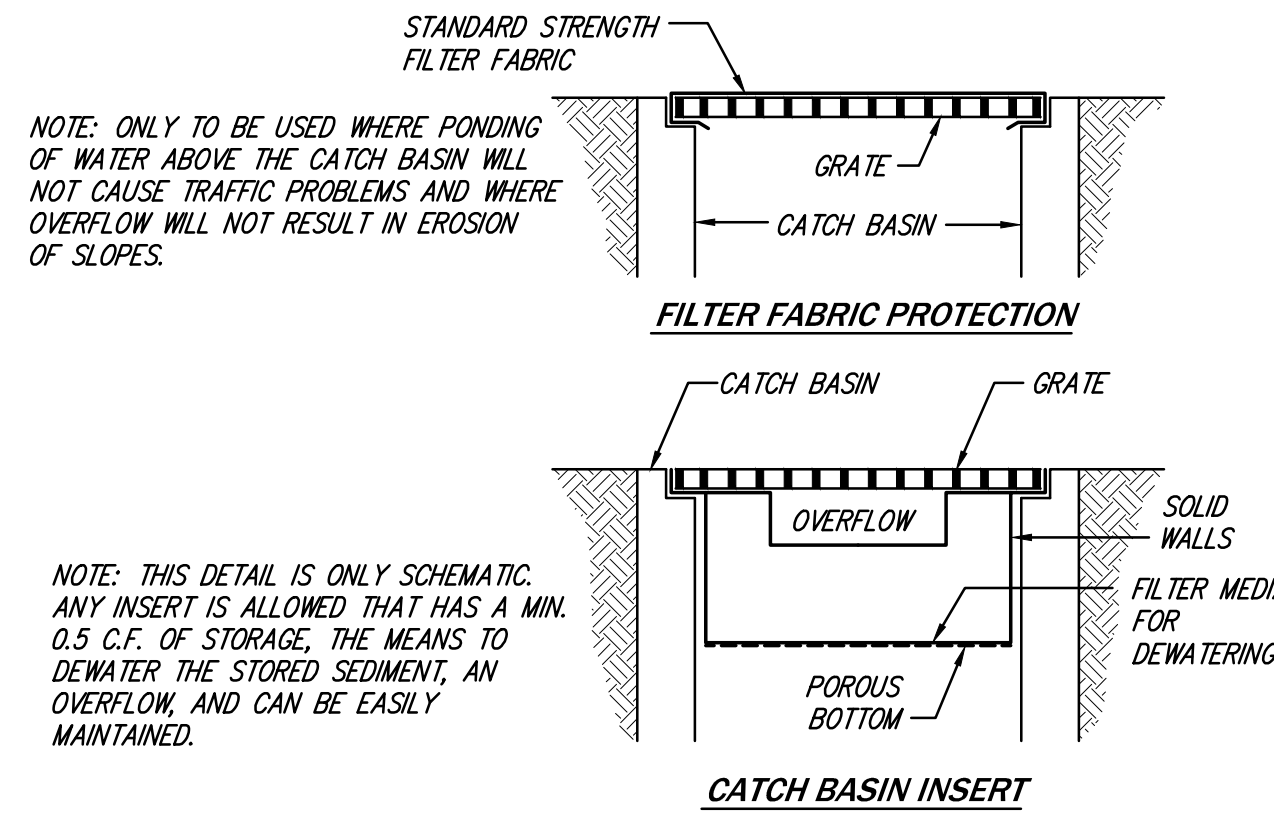
TEMPORARY CONSTRUCTION ACCESS

NO SCALE



FILTER FABRIC FENCE DETAIL

NO SCALE



- Maintenance Standards**
1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
 2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
 3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

FILTER FABRIC PROTECTION FOR CB's

NO SCALE

UNDERGROUND LOCATOR SERVICE
CALL BEFORE YOU DIG!
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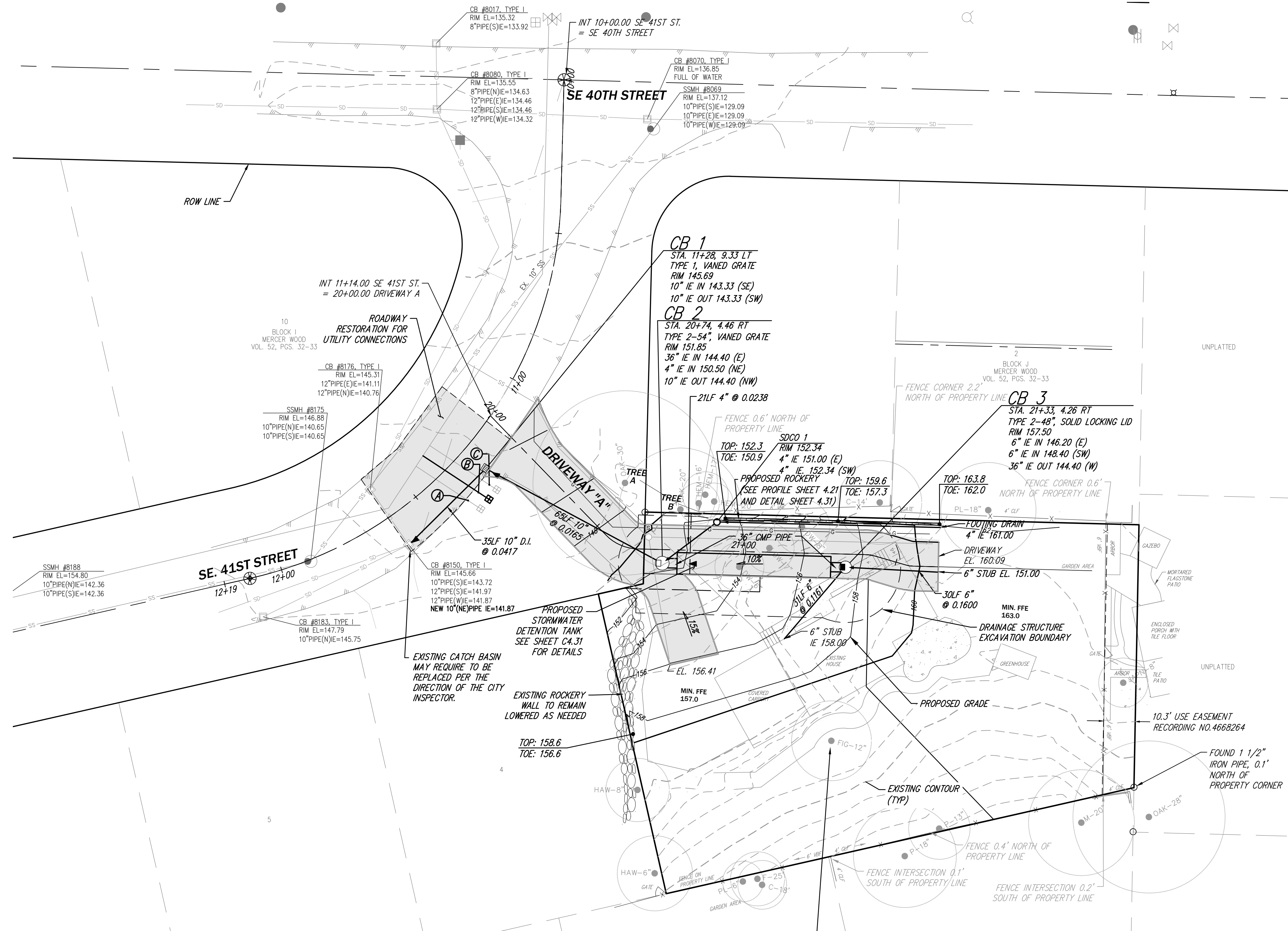
DRAINAGE TESC DETAILS
ROSENSTEIN SHORT PLAT
JOSHUA ROSENSTEIN
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DRAWN: NICHOLAS JOHNSON
APPROVED: MICHAEL A. MOODY
GLENN SPRAGUE
PROJECT MANAGER

SHEET 811 OF 10
PROJECT NUMBER 16175

SUB17-003

04-16-2018



STORM DRAINAGE GENERAL NOTES

1. ALL NEW CATCH BASINS SHALL CONFORM TO THE APWA WSDOT STANDARD DETAILS.
2. THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED.
3. PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION FILTER AND SILT REMOVAL FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASINS INSERTS. PLACEMENT OF FILTER FABRIC UNDER GRATE IS NOT ACCEPTABLE.
4. PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAINAGE SYSTEM (SUCH AS RUBBLE, MORTAR, AND WEDGED DEBRIS) SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATER.
5. ENDS OF EACH STORM DRAIN STUBS SHALL BE CAPPED AND LOCATED WITH AN 8" LONG 2"x4" BOARD, EMBEDDED TO THE STUB CAP EXTENDING AT LEAST 6" ABOVE GRADE, MARKED PERMANENTLY "STORM", AND FIRMLY ATTACH A COPPER 12 GAUGE LOCATE WIRE. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
6. ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURBLINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING SOLID COVERS.
7. ON-SITE DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
8. SEE FOUNDATION PLAN FOR FOOTING DRAIN LOCATIONS.

UTILITY CROSSINGS TABLE

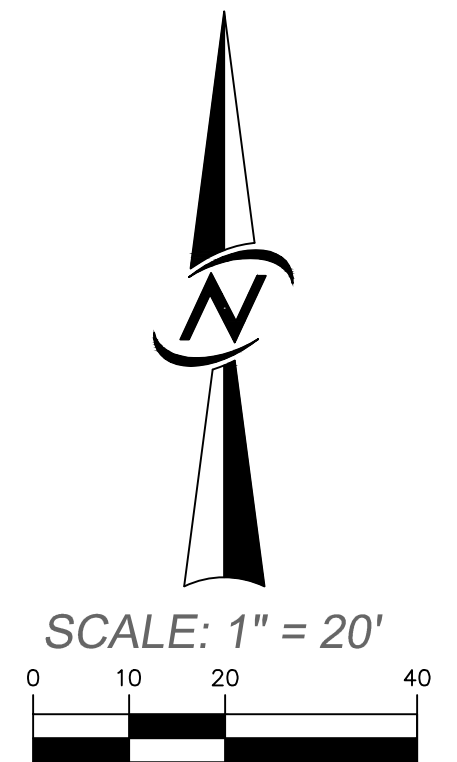
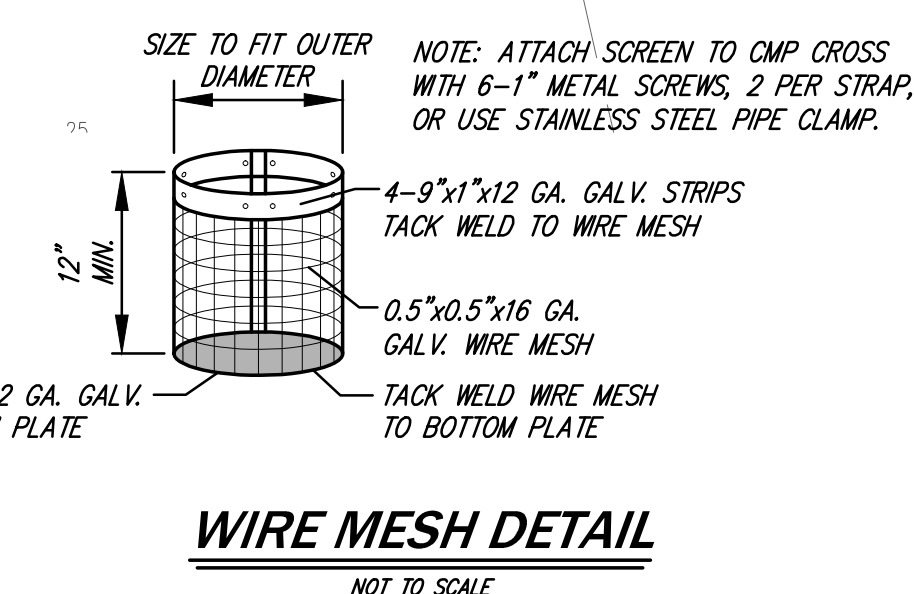
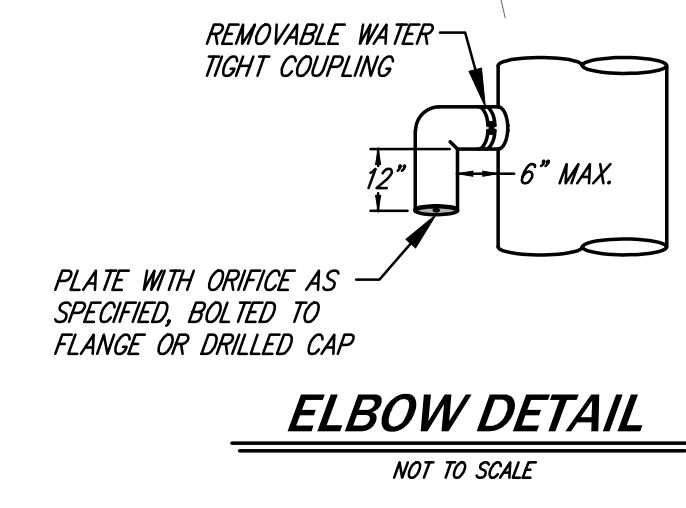
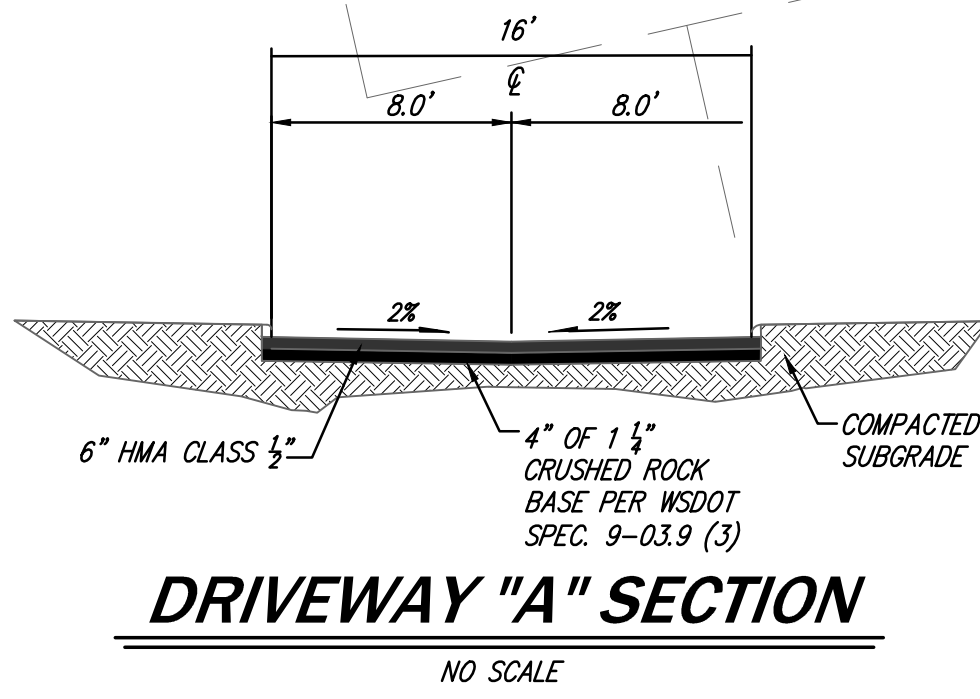
CROSSING	PIPE ELEVATIONS	CLEARANCE
A	142.60 144.43	1'-10"
B	142.94 144.78	1'-10"
C	143.13 144.96	1'-10"

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPERTY LINE
- UTILITY EASEMENT
- BUILDING SETBACK
- SEWER PIPE
- SEWER LATERAL
- WALL/FOOTING DRAIN
- WATER PIPE
- WATER SERVICE
- STORM DRAIN PIPE
- TYPE I CATCH BASIN
- TYPE II CATCH BASIN
- UTILITY CROSSINGS (SEE TABLE THIS SHEET)

GENERAL NOTES:

1. CONTRACTOR TO POTHOLE AND VERIFY PREVIOUSLY PROPOSED CONDITIONS BY CHS ENGINEERING RECEIVED BY CITY OF MERCER ISLAND DEVELOPMENT SERVICES ON MAY 21ST 2008
2. THIS PLAN REPRESENTS AS-BUILT INFRASTRUCTURE (EXISTING) CONDITIONS FOR IMPROVEMENTS INSTALLED UNDER PERMIT NO SUB17-003 WITH PROPOSED ADJUSTMENTS TO SUPPORT CURRENT SITE PLAN AND LOT/HOUSE ORIENTATION.

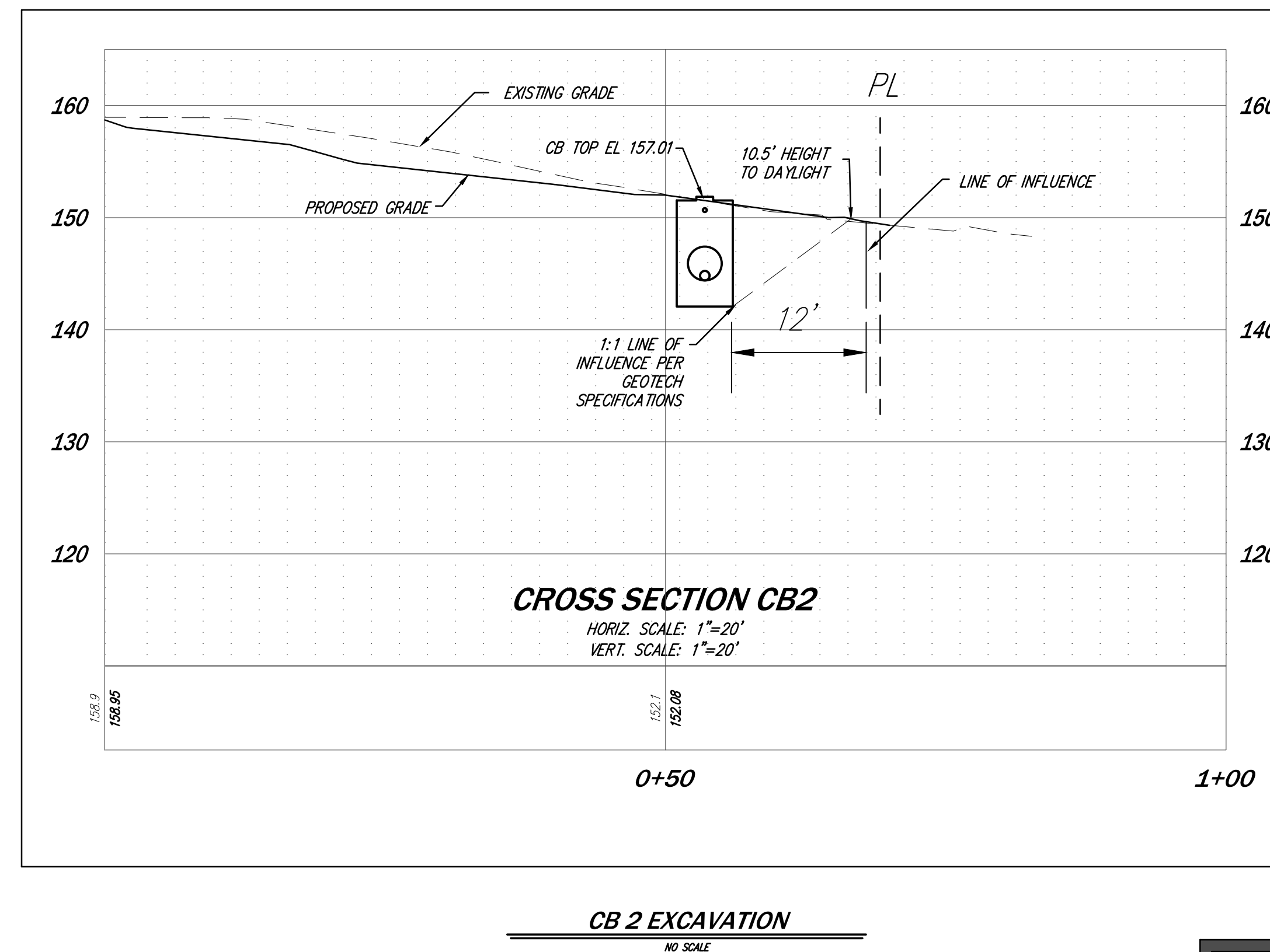
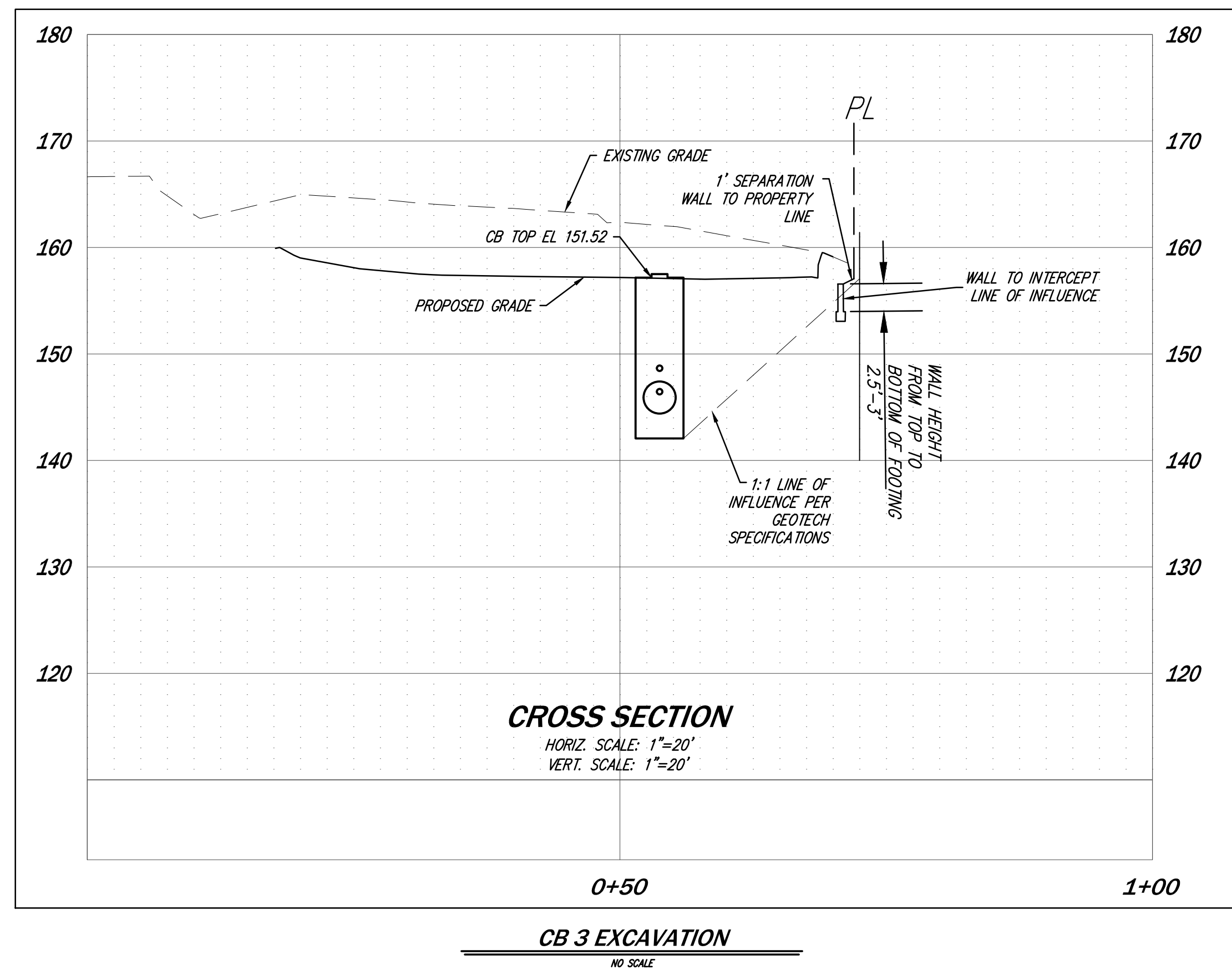
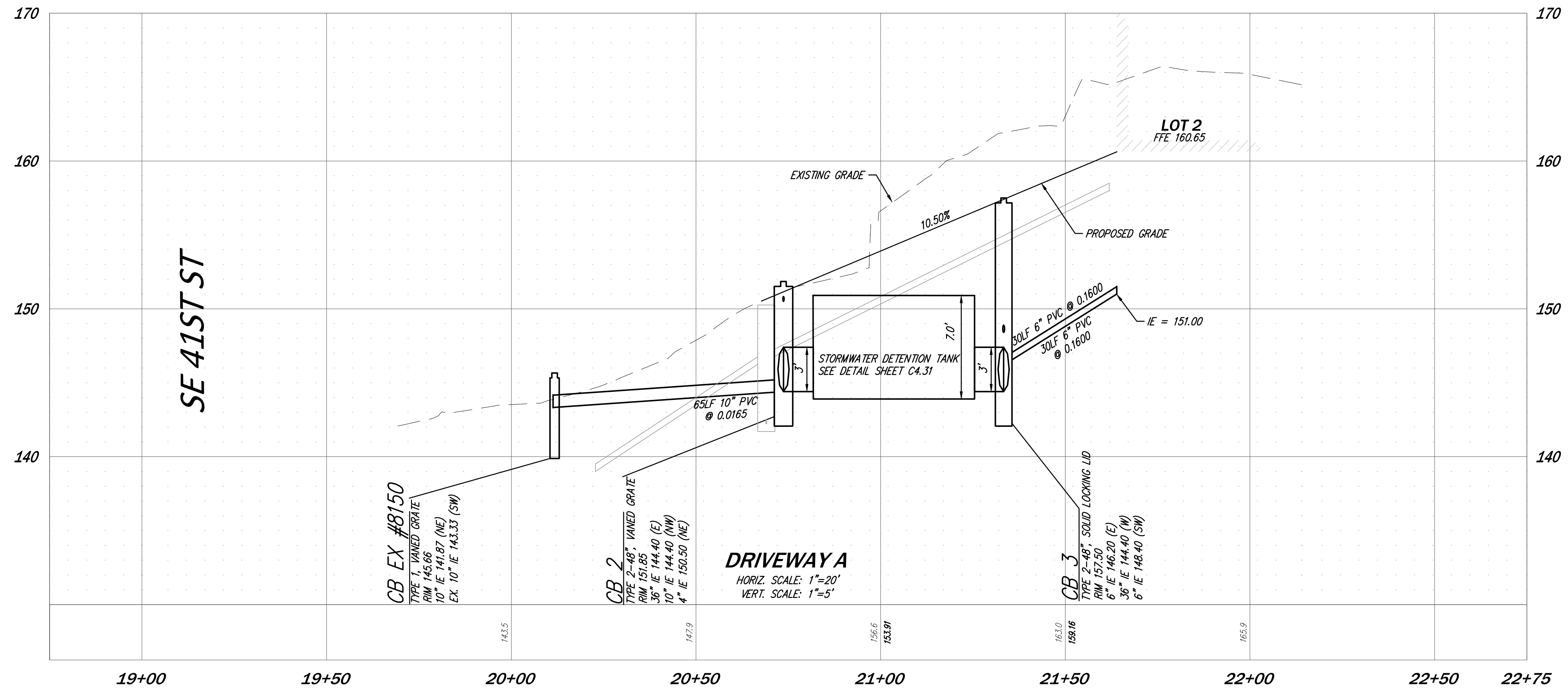


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DATE 3/30/18 4/16/18	REVISIONS 1 REVISION PER CITY COMMENTS 2 REVISION PER CITY COMMENTS		14711 NE 29th Place Suite 101 Bellevue, Washington 98007 425.885.7877 Fax: 425.885.7963	ENGINEERING • PLANNING • SURVEYING	STORM DRAINAGE & GRADING PLAN ROSENSTEIN SHORT PLAT JOSHUA ROSENSTEIN 07889 SE 41ST STREET MERCER ISLAND, WA 98040
DATE MARCH 30, 2018	DESIGNED ROBAB MOHAMMADI	DRAWN NICHOLAS JOHNSON	APPROVED MICHAEL A. MOODY GLENN SPRAGUE	PROJECT MANAGER	SHEET C4.01
					OF 10
					PROJECT NUMBER 16175

SUB17-003

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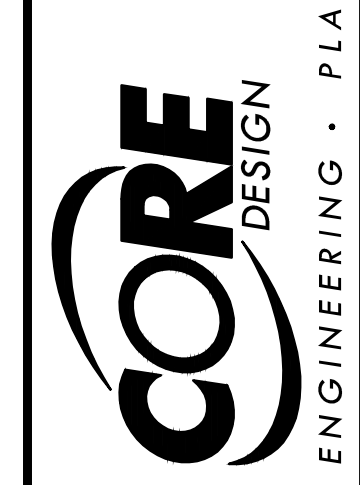


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2	REVISION PER CITY COMMENTS	4/16/18



14711 NE 29th Place Suite 101
Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963



STORM DRAINAGE PROFILES & DETAILS
ROSENSTEIN SHORT PLAT
JOSHUA ROSENSTEIN
9789 SE 41ST STREET
MERCER ISLAND, WA 98040

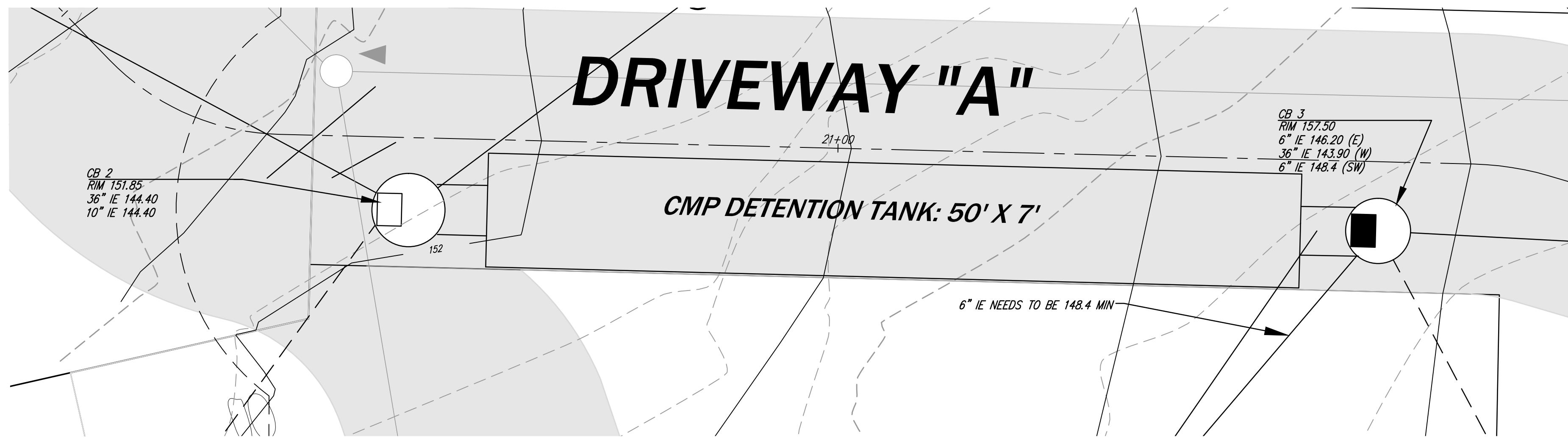
DATE: MARCH 30, 2018
DESIGNED: ROBAB MOHAMMADI
DRAWN: NICHOLAS JOHNSON
APPROVED: MICHAEL A. MOODY
GLENN SPRAGUE
PROJECT MANAGER

SHEET 10 OF 10
PROJECT NUMBER 16175

SUB17-003

C4-16-2018

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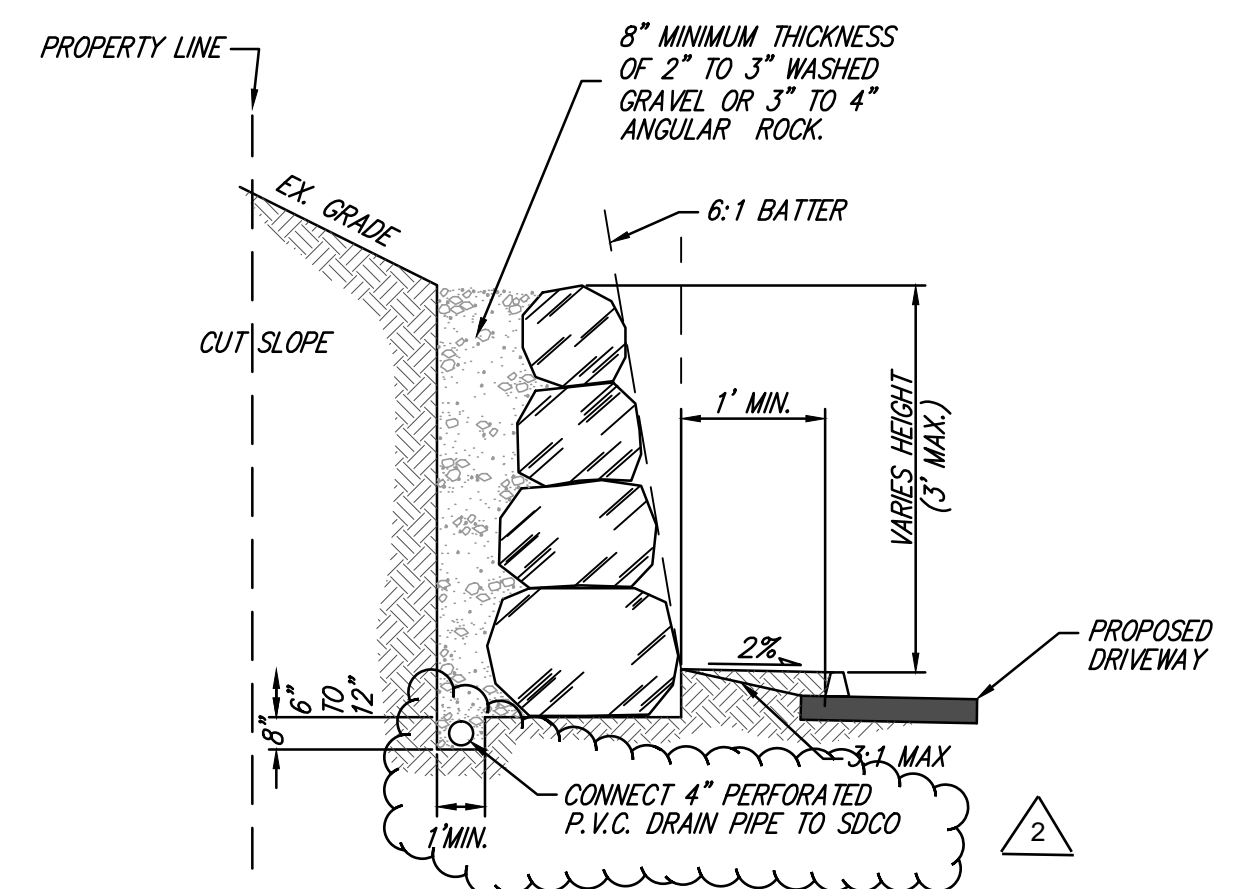
DETENTION TANK PLAN

SCALE: 1" = 5'

ROCKERY GENERAL NOTES

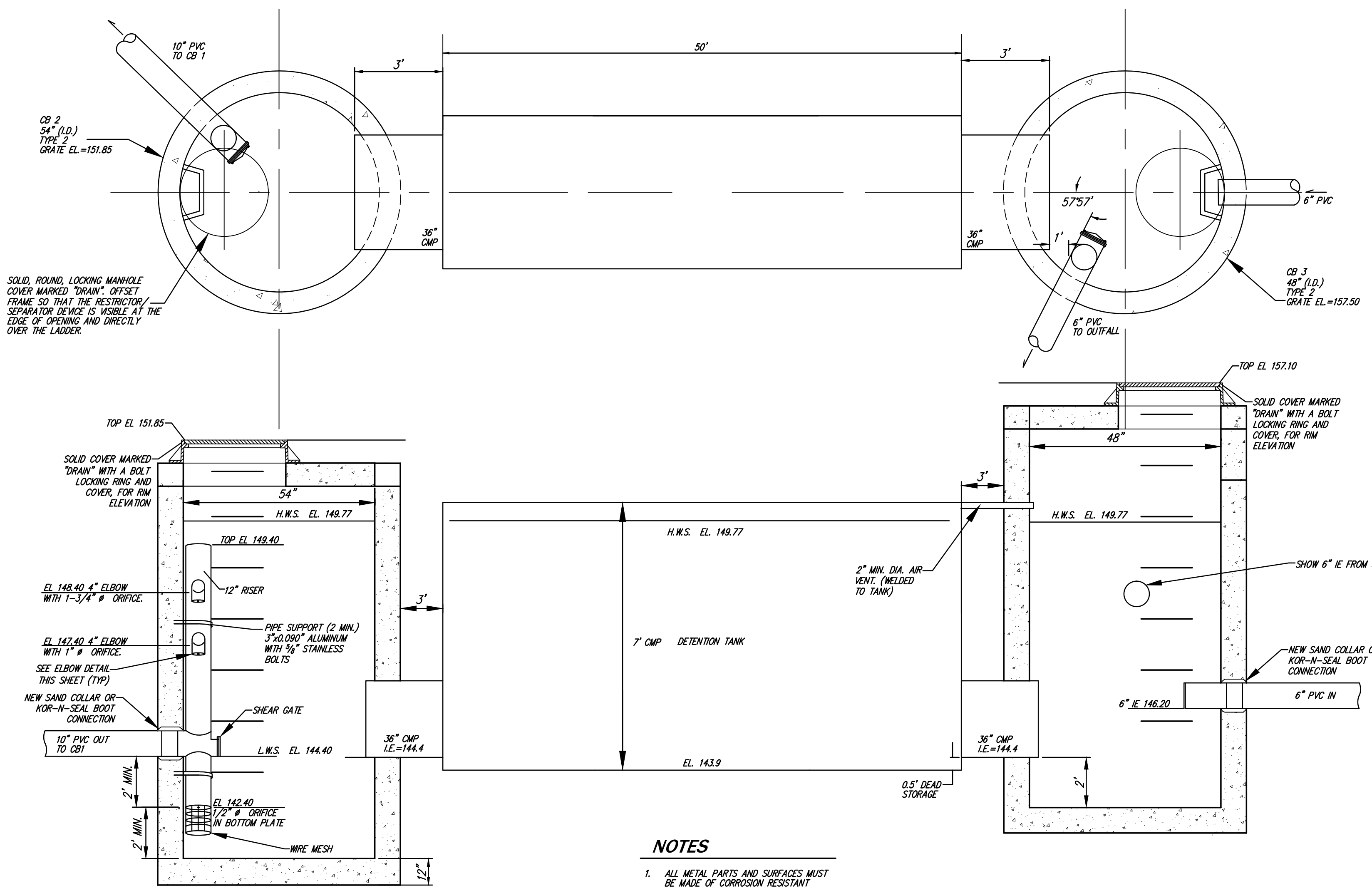
1. THE ROCKERY WALL SHALL BE INSTALLED WITH A SMOOTH FACE.
2. THE LONG DIMENSIONS OF THE ROCKS SHALL BE PERPENDICULAR TO THE WALL FACE.
3. THE ROCK SHALL BE PLACED SO AS TO LOCK INTO TWO LOWER ROCKS.
4. THE ROCKERY FOUNDATION SOIL SHALL BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO ROCKERY CONSTRUCTION.
5. THE BASE ROCK SHALL HAVE A MINIMUM BASE WIDTH OF $H/3$, WHERE H IS THE HEIGHT OF THE ROCKERY. THE BASE ROCK AND OTHER ROCKS SHALL ALSO MEET THE FOLLOWING WEIGHT REQUIREMENTS. H SHALL NOT EXCEED 8 FEET.

MINIMUM WEIGHT OF ROCK	2,400 LBS.
LOWER 4 FEET	1,600 LBS.
UPPER 4 FEET	
6. THESE DETAILS AND NOTES ARE GIVEN ONLY AS A GUIDE AND SHOULD NOT BE CONSTRUED AS A DESIGN. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION OF ROCKERIES.
7. ROCKERIES 4 FEET AND OVER IN HEIGHT REQUIRE A BUILDING PERMIT.
8. FOR ROCKERIES BETWEEN 4 FEET AND 6 FEET HIGH, THE INSTALLER OR CONTRACTOR SHALL PROVIDE A LETTER TO THE BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION, CERTIFYING THAT THE SUBGRADE AND DRAINAGE HAVE BEEN PREPARED IN ACCORDANCE WITH THESE STANDARDS.
9. ROCKERIES 6 FEET AND OVER IN HEIGHT REQUIRE ENGINEERING SUPERVISION BY SPECIAL INSPECTOR (UBC 306B), WHICH AT MINIMUM SHALL CONSIST OF INSPECTION AND WRITTEN CERTIFICATION OF SUBGRADE, PLACEMENT OF BASE COURSE AND DRAINAGE, AND FINISHED ROCKERY.
10. ROCK SHALL BE SOUND AND HAVE A MINIMUM DENSITY OF 160 POUNDS CUBIC FOOT.
11. IMPROVED WALKING SURFACES ABOVE AND ADJACENT TO ROCKERIES, OVER 30 INCHES IN HEIGHT, SHALL BE PROTECTED BY GUARDRAIL CONFORMING TO UBC 1711.
12. ROCKERIES ARE EROSION-CONTROL STRUCTURES, NOT RETAINING WALLS. NATIVE MATERIAL MUST BE STABLE AND FREE-STANDING IN CUT FACE.
13. ANY DEVIATION IN DESIGN OR IN PLACEMENT OF ADJACENT STRUCTURES MUST BE SUBMITTED WITH THE SEAL OF A CIVIL ENGINEER CURRENTLY LICENSED IN THE STATE OF WASHINGTON.



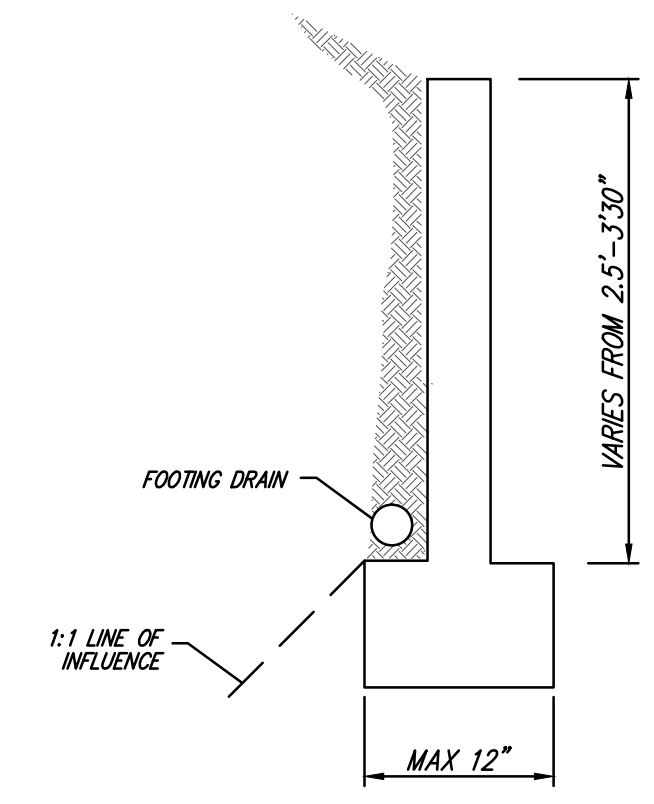
ROCKERY DETAIL

NO SCALE



NOTES

1. ALL METAL PARTS AND SURFACES MUST BE MADE OF CORROSION RESISTANT MATERIAL OR GALVANIZED. COMPLETE CORROSION PROTECTION MUST BE ASSURED.
2. FIRE APPROVAL ISSUED. FIRE TRUCK ACCESS IS NOT ASSUMED ON ACCESS DRIVEWAY.



FOOTING DRAIN DETAIL

NO SCALE

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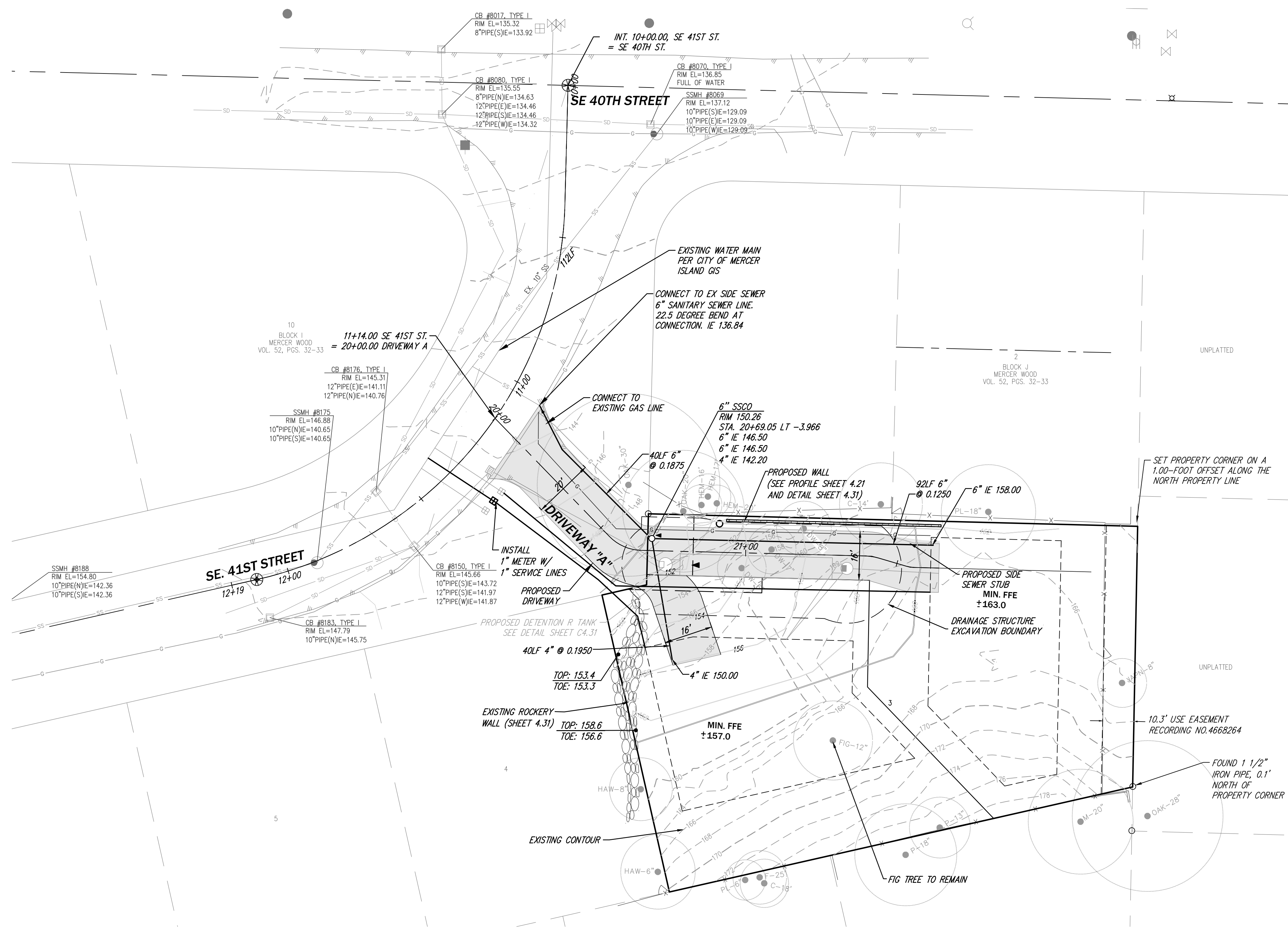
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Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963

NOTES, DETAILS AND SECTIONS
ROSENSTEIN SHORT PLAT
JOSHUA ROSENSTEIN
9789 SE 41ST STREET
MERCER ISLAND, WA 98040

DATE	MARCH 30, 2018
DESIGNED	ROBAB MOHAMMADI
DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
PROJECT MANAGER	GLENN SPRAGUE
SHEET	OF
C4.31	10
PROJECT NUMBER	16175

SUB17-003



ACCESS AND UTILITY EASEMENT PROVISION

THE 15-FOOT ACCESS AND UTILITY EASEMENT OVER LOT 2 SHALL BE RESERVED FOR AND GRANTED TO THE OWNERS OF LOT 1 ON THE FACE OF THE SHORT PLAT. THE OWNERS OF LOTS 1 AND 2 SHALL SHARE EQUALLY IN THE COSTS OF MAINTENANCE, REPAIRS OR RECONSTRUCTION OF THOSE PORTIONS OF THE ACCESS AND UTILITY FACILITIES USED IN COMMON WITHIN SAID EASEMENT.

NOTES:

- CONTRACTOR IS TO OBTAIN PERMITS AND GUARANTEES.
- ALL DAMAGE TO ADJACENT PROPERTIES OR PUBLIC RIGHTS-OF-WAY RESULTING FROM CONSTRUCTION (E.G., SILTATION, MUD, WATER, RUNOFF, ROADWAY DAMAGE CAUSED BY CONSTRUCTION EQUIPMENT OR HAULING) SHALL BE EXPEDITIOUSLY MITIGATED AND REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE CITY. FAILURE TO MITIGATE AND REPAIR SAID DAMAGE OR TO COMPLY WITH THE APPROVED CONSTRUCTION PLANS, THE PERMITS ISSUED BY THE CITY OR THE CITY REQUIREMENT FOR CORRECTIVE ACTION SHALL BE CAUSE FOR THE ISSUANCE OF A "STOP WORK" ORDER, FORECLOSURE ON THE PLAT BOND/ SECURITY, AND/OR OTHER MEASURES DEEMED APPROPRIATE BY THE CITY ENGINEER OR CODE OFFICIAL TO ENSURE QUALITY CONSTRUCTION AND PROTECT THE PUBLIC SAFETY.
- CONSTRUCTION OF ALL IMPROVEMENTS FOR ACCESS, UTILITIES, STORM DRAINAGE AND SITE WORK SHALL COMPLY WITH CURRENT CITY ORDINANCES AND THE REQUIREMENTS OF THE CITY ENGINEER.
- ALL SHORT PLAT IMPROVEMENTS SHALL BE COMPLETED PRIOR TO FINAL APPROVAL AND RECORDING OF THE SHORT PLAT. ALL DOCUMENTS ON BONDING AND COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS WHEN APPROVED BY THE CITY ENGINEER. ALL ACCURATELY PREPARED AS-BUILT DRAWING THAT SHOWS ALL UTILITIES AND SHORT PLAT IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE WORK PROVIDED TWO PAPER COPIES, ONE MYLAR AND ONE DXF AUTOCAD FILE. SUBMIT USING MERCER ISLAND'S DATUM AND TIE THE PLAT TO AT LEAST TWO MONUMENTS.

WATER GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE DEVELOPER EXTENSION AGREEMENT, THE STANDARD SPECIFICATIONS AND THE STANDARD DETAILS OF THE CITY OF MERCER ISLAND.
- THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ON PLANS AND PROFILES FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF UTILITY LOCATIONS SHOWN AND FOR DISCOVERY OF POSSIBLE ADDITIONAL UTILITIES NOT SHOWN ON PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE LOCATED BY APPROPRIATE UTILITY DISTRICTS OR COMPANIES, ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- FOR UTILITY LOCATES IN KING COUNTY, CALL 1-800-424-5555 PRIOR TO DIGGING.

- UTILITY LOCATES
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REGULATORY PERMITS.
 - ALL WORK IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF PERMITTING AGENCY.

- PRE-CON
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY OF MERCER ISLAND'S OFFICE PRIOR TO THE START OF CONSTRUCTION. CITY STAFF WILL NOTIFY THE APPROPRIATE AGENCIES OR REPRESENTATIVES.

- SURVEYING
- PRIOR TO CONSTRUCTING ANY WATER MAINS, THE STREET CENTERLINES OF THE DEVELOPMENT, CENTER OF CUL-DE-SACS, ALL WATER LINE EASEMENTS AND ALL LOT CORNERS SHALL BE STAKED. THE MAXIMUM STATIONING INTERVAL SHALL BE 50 FEET WITH THE STATION NUMBER ON EACH STAKE.
 - HORIZONTAL CONTROL DATA SHALL BE NAD '83/'91. VERTICAL CONTROL SHALL BE NAVD-88 DATUM.
 - AT THE CONCLUSION OF CONSTRUCTION, THE DEVELOPER'S REGISTERED PROFESSIONAL SURVEYOR SHALL PREPARE A DRAWING BASED ON THE SURVEYED LOCATIONS OF ALL APPURTENANCES INSTALLED, INCLUDING BUT NOT LIMITED TO, WATER MAIN, METER BOXES, BLOWOFFS, VALVES, BOXES, HYDRANTS AND BENDS. THE DISTRICT WILL PROVIDE LOCATES TO ASSIST THE SURVEYOR IN LOCATING THE WATER MAIN BETWEEN APPURTENANCES AND LOCATING THE BENDS. THE DRAWING SHALL BE PROVIDED TO THE DISTRICT IN AUTOCAD FORMAT, R 2000 OR NEWER. IN ADDITION, ALL WATER EASEMENTS SHALL BE STAKED AND FLAGGED AT THEIR INTERSECTION WITH PROPERTY LINES AND AT 25 FOOT STATIONS ALONG THE EASEMENT LINES.

- CONSTRUCTION
- THE WATER MAIN SHALL BE PLACED AS SHOWN ON PLAN.
 - A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN THE SANITARY SEWER LINE AND THE WATER MAIN.
 - A FIVE (5) FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL WATER FACILITIES AND UNDERGROUND POWER AND TELEPHONE FACILITIES, UNLESS OTHERWISE APPROVED BY THE DISTRICT.
 - DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT PERSONNEL.

- MATERIALS
- ALL WATER MAIN PIPING SHALL BE DUCTILE-IRON MINIMUM THICKNESS CLASS 52, CEMENT-MORTAR LINED AND TYTON JOINT. ALL WATER MAIN PIPING TO MEET THE REQUIREMENTS OF AWWA C-151.
 - ALL WATER MAIN FITTINGS SHALL BE CEMENT-MORTAR LINED AND MEET THE REQUIREMENTS OF AWWA C-153.
 - POLYETHYLENE ENCASUREMENT TO MEET THE AWA STANDARD C-105. ANY TEARS OR OPENINGS MADE FOR SERVICE OR TAPS SHALL BE REPAIRED WITH AN ADHESIVE TAPE.
 - ALL WATER MAIN PIPES AND SERVICES SHALL BE INSTALLED WITH A 14 (FOURTEEN) GAUGE, CONTINUOUS, SOLID-CORE, NEOPRENE COATED LOCATING WIRE. ANY CONNECTORS OR SPLICES SHALL BE MADE WITH SPLIT-BOLT WIRE CONNECTORS.

- PLACEMENT
- FIRE HYDRANT LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL OF JURISDICTION.
 - WATER SERVICE LINE AND METER LOCATIONS WILL BE COORDINATED WITH THE DEVELOPER'S ENGINEER AFTER A THOROUGH REVIEW OF ALL UTILITY FACILITIES.
 - THE METER LOCATION SHALL BE WITHIN THREE (3) FEET OF THE PROPERTY LINE THAT IS PERPENDICULAR TO THE RIGHT-OF-WAY AND WITHIN ONE (1) FOOT OF THE EDGE OF PROPERTY ON THE RIGHT-OF-WAY SIDE UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT.
 - AFTER INSTALLATION OF THE METER AND BOX, A 2X4 BOARD PAINTED WHITE WITH "WATER SERVICE" STENOILED ONTO IT WILL BE DRIVEN INTO THE GROUND BEHIND THE METER BOX.

SEWER GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE DEVELOPER EXTENSION AGREEMENT, THE STANDARD SPECIFICATIONS, STANDARD DETAILS OF THE CITY OF MERCER ISLAND.
- THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ON PLANS AND PROFILES FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF UTILITY LOCATIONS SHOWN AND FOR DISCOVERY OF POSSIBLE ADDITIONAL UTILITIES NOT SHOWN ON PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE LOCATED, BY APPROPRIATE UTILITY DISTRICTS OR COMPANIES, ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- FOR UTILITY LOCATES IN KING COUNTY, CALL 1-800-424-5555 PRIOR TO DIGGING.

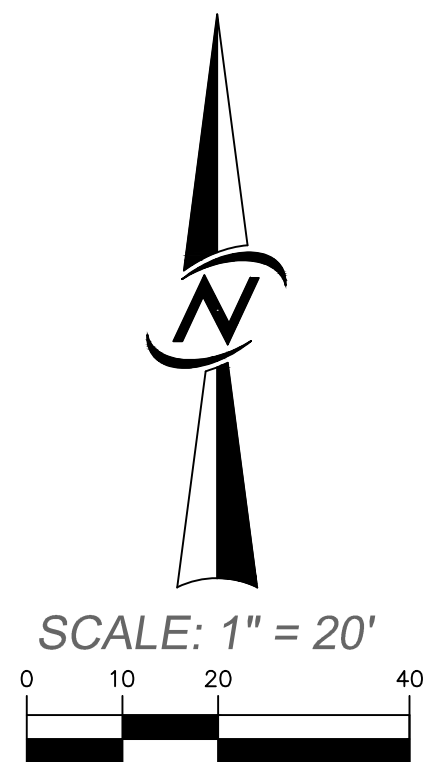
- PERMITS
- THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REGULATORY PERMITS.
 - ALL WORK IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMITTING AGENCY.

- PRE-CON
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY OF MERCER ISLAND'S OFFICE PRIOR TO THE START OF CONSTRUCTION. DISTRICT STAFF WILL NOTIFY THE APPROPRIATE AGENCIES OR REPRESENTATIVES.

- SURVEYING
- PRIOR TO CONSTRUCTING ANY SEWER MAINS, THE STREET CENTERLINES OF THE DEVELOPMENT, CENTER OF CUL-DE-SACS, ALL SEWER LINE EASEMENTS AND ALL LOT CORNERS SHALL BE STAKED. THE MAXIMUM STATIONING INTERVAL SHALL BE 50 FEET WITH THE STATION NUMBER ON EACH STAKE.
 - HORIZONTAL CONTROL DATA SHALL BE NAD '83/'91. VERTICAL CONTROL SHALL BE NAVD-88 DATUM.
 - AT THE CONCLUSION OF CONSTRUCTION, THE DEVELOPER'S REGISTERED PROFESSIONAL SURVEYOR SHALL PREPARE A DRAWING BASED ON THE SURVEYED LOCATION OF ALL AT-GRADE APPURTENANCES INSTALLED, INCLUDING BUT NOT LIMITED TO, LOCATION OF EXISTING MANHOLES INCLUDING RIM & ALL INVERT ELEVATIONS AND NEW MANHOLE LOCATIONS INCLUDING RIM & ALL INVERT ELEVATIONS. THE DRAWING SHALL BE PROVIDED TO THE DISTRICT IN AUTOCAD FORMAT, R 2000 OR NEWER. IN ADDITION, ALL SEWER EASEMENTS SHALL BE STAKED AND FLAGGED AT THEIR INTERSECTION WITH PROPERTY LINES AND AT 25 FOOT STATIONS ALONG THE EASEMENT LINES.

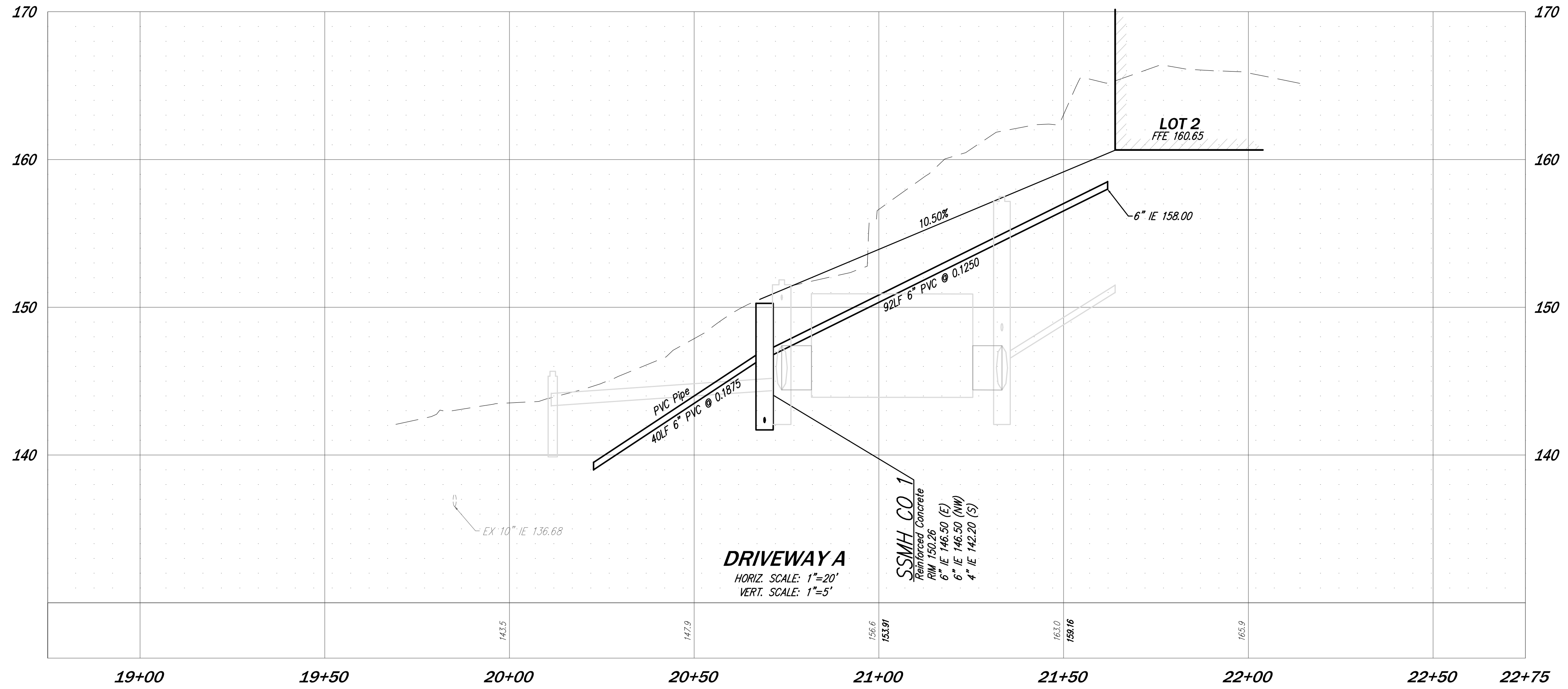
- CONSTRUCTION
- THE SEWER MAIN SHALL BE PLACED FIVE (5) FEET SOUTH OR WEST FROM THE CENTERLINE OF THE ROADWAY, UNLESS OTHERWISE SHOWN ON THE PLAN.
 - A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN THE SANITARY SEWER LINE AND THE WATER MAIN.
 - AFTER TRENCH BACKFILL AND COMPACTION, PVC SANITARY SEWER MAINS SHALL BE TESTED FOR DEFLECTION AS SPECIFIED IN SECTION 7-17.3(2)(c) OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION TEST OBSERVATION AND INSPECTION BY NORTHSORE UTILITY DISTRICT.
 - WHENEVER SANITARY SEWER CROSSES BELOW A WATER MAIN, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER LINE IS AT LEAST EIGHTEEN (18) INCHES BELOW THE BOTTOM OF THE WATER MAIN.
 - ALL MANHOLES SHALL HAVE A MINIMUM DROP OF ONE-TENTH (0.10) FOOT AND FIVE-TENTHS (0.50) FOOT MAXIMUM DROP BETWEEN INVERT IN AND INVERT OUT.
 - MANHOLES IN THE PUBLIC RIGHT-OF-WAY SHALL BE A MINIMUM OF EIGHT (8) FEET IN DEPTH OR PER APPROVED PLANS.
 - MANHOLES NOT IN PAVED PUBLIC RIGHT-OF-WAY TO HAVE LOCKING LIDS AND ALL FRAMES SHALL BE LOCKING TYPE PER THE STANDARD DETAILS.
 - FOR PIPE SLOPES GREATER THAN 20%, RESTRAINED-JOINT DUCTILE IRON PIPE SHALL BE USED FOR EVERY JOINT.
 - SIDE SEWER STUBS SHALL HAVE A MINIMUM OF TWO (2) PERCENT SLOPE AND MAXIMUM OF FORTY-FIVE (45) DEGREE SLOPE. STUBS SHALL BE 6" MINIMUM DIAMETER. FOR ALL STUBS LESS THAN EIGHT (8) FEET IN DEPTH, INSTALL A THREE (3) INCH WIDE GREEN METALLIC DETECTOR TAPE 12" ABOVE THE PIPE, THE ENTIRE LENGTH OF THE STUB CONTINUING UP THE 2X4 SIDE SEWER MARKER POST. IDENTIFICATION ON THE TAPE SHALL INCLUDE THE WORDS "SANITARY SEWER".

- MATERIALS
- SANITARY SEWER PIPE LESS THAN EIGHTEEN (18) FEET IN DEPTH AND LESS THAN 20% SLOPE SHALL BE PVC CONFORMING TO ASTM D-3034, SDR-35 AND SHALL BE BEDDED WITH CLEAN, GRANULAR MANUFACTURED PEA GRAVEL FROM 4" UNDER TO 6" OVER THE PIPE. SANITARY SEWER PIPE EIGHTEEN (18) FEET DEEP AND GREATER, OR ON A SLOPE OF 20% DUCTILE-IRON PIPE MUST MEET THE REQUIREMENTS OF AWWA C-151.
 - HIGH-DENSITY POLYETHYLENE (HDPE) SHALL BE SDR-11 MINIMUM.



DATE	MARCH 30, 2018	DESIGNED	ROBAB MOHAMMADI
DATE	3/30/18	DRAWN	NICHOLAS JOHNSON
DATE	4/16/18	APPROVED	MICHAEL A. MOODY
DATE		PROJECT MANAGER	GLEN SPRAGUE
REVISIONS			
NO.	1	REVISION PER CITY COMMENTS	
NO.	2	REVISION PER CITY COMMENTS	
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UTILITY PLAN ROSENSTEIN SHORT PLAT JOSHUA ROSENSTEIN 9789 SE 41ST STREET MERCER ISLAND, WA 98040			
SHEET	OF		
C5.01	10		
PROJECT NUMBER 16175			
SUB17-003			

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Bellevue, Washington 98007
425.885.7877 Fax 425.885.7963

**SANITARY SEWER PROFILE
ROSENSTEIN SHORT PLAT**
JOSHUA ROSENSTEIN
07809 SE 41ST STREET
MERCER ISLAND, WA 98040

DATE	MARCH 30, 2018
DESIGNED	ROBAB MOHAMMADI
DRAWN	NICHOLAS JOHNSON
APPROVED	MICHAEL A. MOODY
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	PROJECT MANAGER

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